



£340,000

KEY TENURE: **Freehold**

EPC RATING: **C**

COUNCIL TAX BAND: **D**

Stafford

Lancaster Road
Stafford Staffordshire



Hurry and make that call to secure a viewing of this exceptional four-bedroom detached home, ideally positioned at the end of a highly esteemed cul-de-sac, just a stone's throw away from Stafford town centre. Brace yourself! The internet buzz for this property could be explosive!

Step inside to discover an inviting entrance hallway, a welcoming living room, an open-plan kitchen/dining room, a large, double-glazed conservatory, a utility space, and a guest WC. Upstairs, four bedrooms await along with a family bathroom. Outside, revel in a double-width driveway, a single garage, and a generously sized rear garden boasting a spacious paved seating area. Don't hesitate and act swiftly to secure your chance to view this remarkable property!

- Spacious Four Bedroom Detached House
- Spacious Living Room with Kitchen/Dining Room
- Large Double Glazed Conservatory
- Useful Utility Room with Guest WC
- Off Road Parking with A Garage & Private Garden
- Close To Stafford Town Centre & Commuter Links

You can reach us **9am to 9pm**, 7 days a week

14 Salter Street, Stafford, Staffordshire, ST16 2JU

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Entrance Hallway

Accessed through a double glazed entrance door with double glazed side panels, having stairs off, rising to the First Floor Landing & accommodation, a radiator, and internal door(s) off, providing access to;

Living Room 17' 9" x 13' 5" (5.41m x 4.08m)

A spacious & bright reception room which features a decorative marble fire surround housing a coal effect gas fire set on a matching marble hearth, and having coving to the ceiling, a radiator, a double glazed bay window to the front elevation, and internal glazed sliding door leading through into the open-plan Kitchen & Dining Area.

Kitchen & Dining Area 10' 6" x 16' 5" (3.21m x 5.01m)

A spacious kitchen/dining area, featuring a matching range of fitted wall, base & drawer units with fitted work surfaces over incorporating an inset 1.5 bowl sink/drainers with chrome taps, and includes a range of integrated/fitted appliances: electric single oven with a 4-ring gas hob & extractor hood over, integrated dishwasher, and an integrated refrigerator. The room also benefits from having a useful understairs storage area, wood effect flooring, space for a dining table & chairs, a double glazed window to the rear elevation, and further sliding double glazed patio door providing access into the Conservatory.



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Conservatory 10' 8" x 9' 7" (3.25m x 2.91m)

A UPVC double glazed conservatory constructed on a low brick wall, featuring tiled flooring, centre light point with fan, a wall mounted electrically operated heated, and double glazed windows & double glazed French doors providing views and access out to the garden and onto the adjacent paved patio seating area.



Utility Room 13' 2" x 8' 2" (4.01m x 2.49m)

Fitted with a matching range of high gloss wall units with fitted work surface having splashback tiling to the walls, and space & plumbing for appliance(s). The room also benefits from having a radiator, wood effect flooring, and a double glazed window & door to the rear elevation leading out to the garden.

Guest WC 6' 6" x 4' 0" (1.98m x 1.21m)

Fitted with a modern white suite comprising of a low-level WC, and a pedestal wash hand basin with chrome mixer tap. There is wood effect flooring, a radiator, and a double glazed window to the side elevation.

First Floor Landing

Having a useful built-in cupboard with door, an access hatch to the loft space, and internal door(s) off, providing access to:

Bedroom One 14' 8" x 8' 11" (4.47m x 2.72m)

A good sized double bedroom which has built-in double wardrobes, a double glazed window to the front elevation, and radiator.



Bedroom Two 11' 4" x 9' 5" (3.45m x 2.86m)

A second spacious double bedroom, having a double glazed window to the rear elevation, and radiator.

Bedroom Three 23' 10" x 8' 0" (7.27m x 2.45m)

A large & bright dual-aspect double bedroom having double glazed windows to both the front & rear elevations.



Bedroom Four 7' 11" x 7' 3" (2.41m x 2.21m)

Having a double glazed window to the front elevation, and radiator.

Bathroom 9' 0" x 6' 10" (2.74m x 2.08m)

Fitted with a white suite comprising of a low-level WC, a pedestal wash hand basin with chrome taps, a panelled bath with chrome centre fill mixer taps, and a separate screened shower housing a mains-fed shower. There is part-tiling to the walls, tiled flooring, a chrome towel radiator, and a double glazed window to the rear elevation.

Outside Front

The property is approached over a double width asphalt driveway which provides off-road parking and access to both the single integral garage, and front entrance porch with a lawned garden area to the side, and secure gated pedestrian access to the rear garden.

Garage 17' 2" x 8' 2" (5.24m x 2.50m)

A single integral garage, accessed via an up and over garage door to the front elevation, and benefitting from having both power & lighting installed.

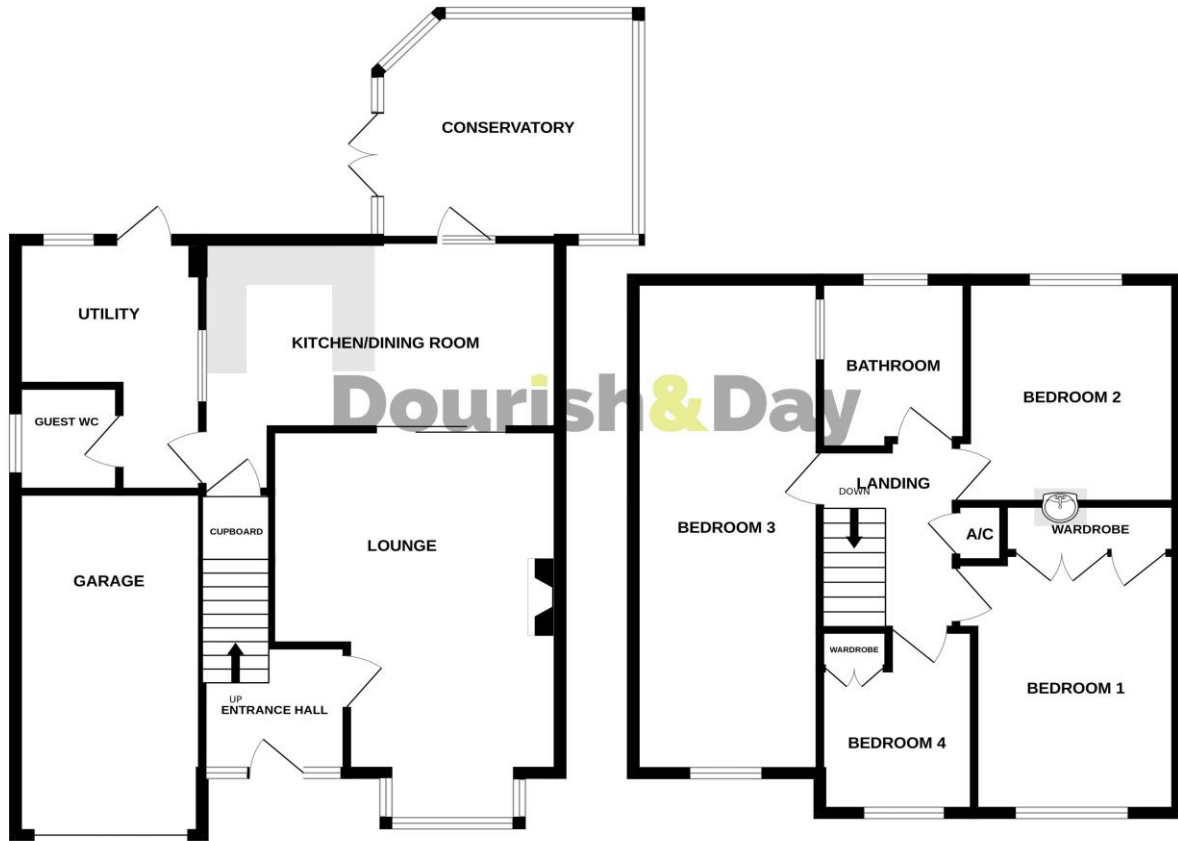
Outside Rear

A good sized private & enclosed rear garden, being laid mainly to lawn with a paved patio seating/outdoor entertaining area adjacent to the Conservatory's French doors, a garden shed, and is enclosed by panelled fencing.



GROUND FLOOR

1ST FLOOR



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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Energy Efficiency Rating		Current	Potential
Very energy efficient - lowest running costs	A		
(81-91)	B		
(69-80)	C		
(55-68)	D		
(39-54)	E		
(21-38)	F		
Less energy efficient - higher running costs	G		
		69	82

England & Wales EU Directive 2002/91/EC
www.epcrea.com



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